

LAS VELAS CONDOS

UNIT #5

6101 PADRE BLVD.

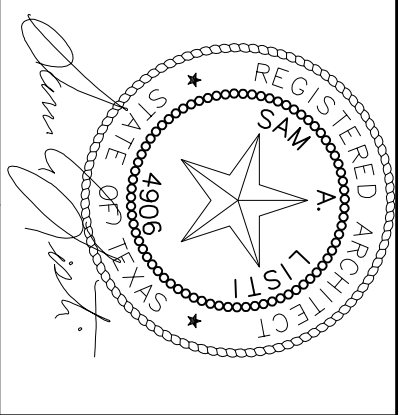
SOUTH PARDE ISLAND, TX

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SIGNED: 10/22/19 EXPIRES: 8/9/20

ARCHITECT

LISTI ARCHITECTS
P.O. BOX 2220
SOUTH PADRE ISLAND, TEXAS 78597
PH - (956) 345-9960 FAX - (956) 761-2352
EMAIL - spiararch@igv.it.com

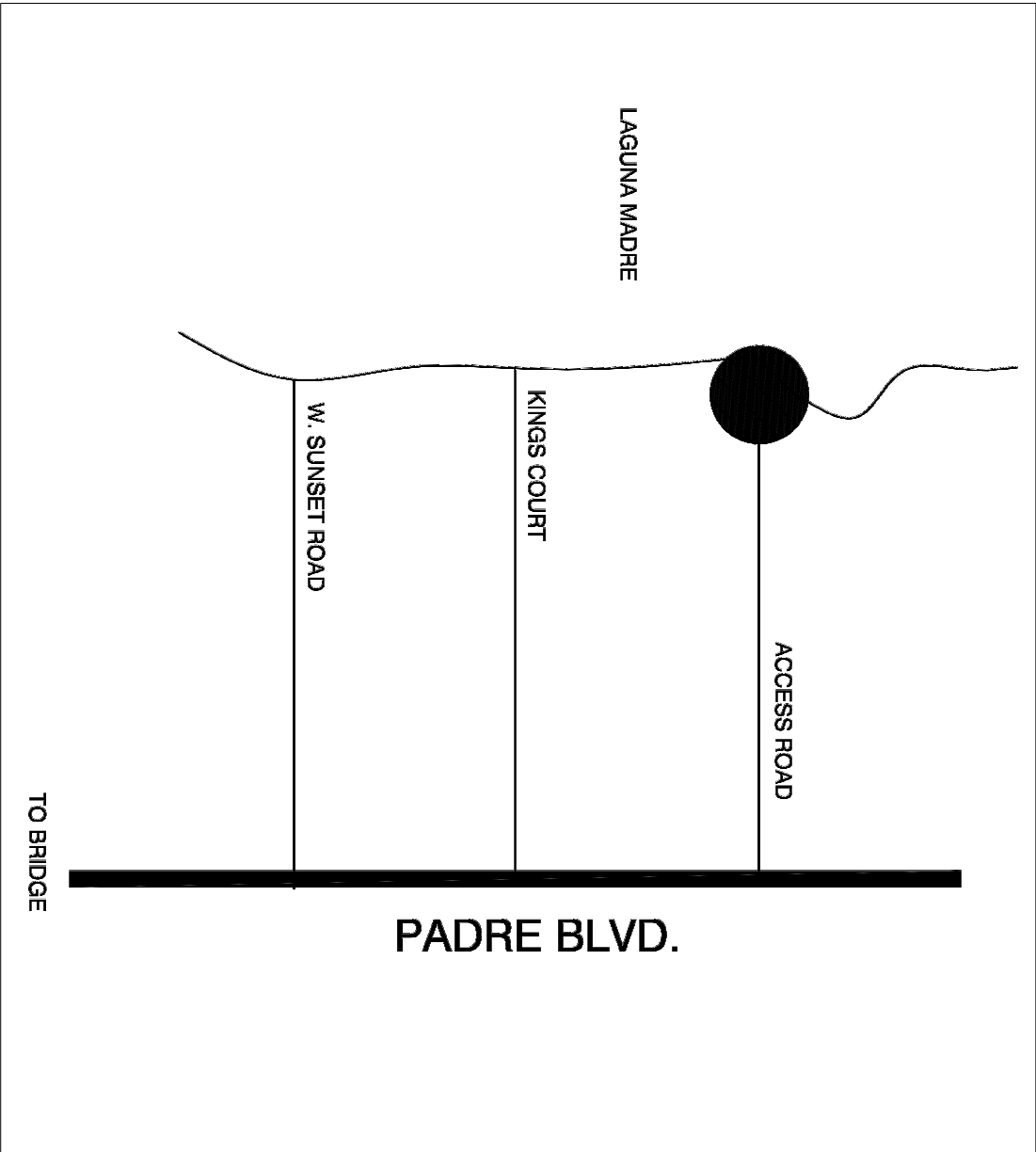
MEP. ENGINEER

A & G ENGINEERING
1303 W US HWY 83
PHARR, TX 78577
PH. 956-207-7068

STRUCTURAL ENGINEER

MENDOZA ENGINEERING, P.L.L.C.
6316 MCALLEN , TX 78504
PH - (956) 631-4906

UNIT 1			
1ST LEVEL LIVING	632 SF.		
2ND LEVEL LIVING	644 SF.		
3RD LEVEL LIVING	373 SF.		
TOTAL LIVING	1649 SF.		
COVERED PORCH	13 SF.		
1ST. LEVEL DECK	171 SF.		
COVERED BALCONY	104 SF.		
COVERED STORAGE	171 SF.		
3RD. LEVEL UNCOVERD MECH.	64 SF.		
TOTAL UNIT 1 NON LIVING SQ. FT.	532 SQ. FT.		
TOTAL UNIT 1 SQ. FT.	2181 SQ. FT.		
UNIT 2			
1ST LEVEL LIVING	604 SF.		
2ND LEVEL LIVING	618 SF.		
3RD LEVEL LIVING	367 SF.		
TOTAL LIVING	1589 SF.		
COVERED PORCH	13 SF.		
1ST. LEVEL DECK	144 SF.		
COVERED BALCONY	96 SF.		
COVERED STORAGE	133 SF.		
3RD. LEVEL UNCOVERD MECH.	61 SF.		
TOTAL UNIT 2 NON LIVING SQ. FT.	447 SQ. FT.		
TOTAL UNIT 2 SQ. FT.	2036 SQ. FT.		
UNIT 3			
1ST LEVEL LIVING	604 SF.		
2ND LEVEL LIVING	618 SF.		
3RD LEVEL LIVING	367 SF.		
TOTAL LIVING	1589 SF.		
COVERED PORCH	13 SF.		
1ST. LEVEL DECK	144 SF.		
COVERED BALCONY	96 SF.		
COVERED STORAGE	133 SF.		
3RD. LEVEL UNCOVERD MECH.	61 SF.		
TOTAL UNIT 3 NON LIVING SQ. FT.	447 SQ. FT.		
TOTAL UNIT 3 SQ. FT.	2036 SQ. FT.		
UNIT 4			
1ST LEVEL LIVING	632 SF.		
2ND LEVEL LIVING	644 SF.		
3RD LEVEL LIVING	373 SF.		
TOTAL LIVING	1649 SF.		
COVERED PORCH	13 SF.		
1ST. LEVEL DECK	171 SF.		
COVERED BALCONY	104 SF.		
COVERD STORAGE	171 SF.		
3RD. LEVEL UNCOVERD MECH.	64 SF.		
TOTAL UNIT 4 NON LIVING SQ. FT.	532 SQ. FT.		
TOTAL UNIT 4 SQ. FT.	2181 SQ. FT.		
TOTALS			
UNIT NET A/C	6,479 SF.		
TOTAL NON A/C	1956 SF.		
GROSS FOOTAGE	8437 SF.		



CODE ANALYSIS

TOWER BUILDING

2015 INTERNATIONAL BUILDING CODE

2015 IFC CODE

2015 ICC CODE

CATEGORY

CONSTRUCTION

2015 IBC REF.

CONSTRUCTION TYPE

TYPE IIIB SPRINKLED THRU-OUT

TABLE 602.3

OCCUPANCY

R-2

SECTION 310

MAX. HT. FT.

65'-0" S.P.I.

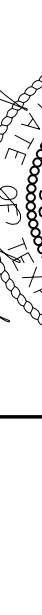
37'-0"

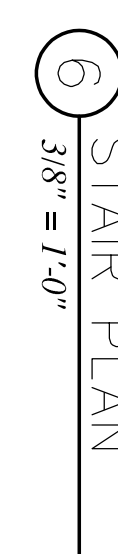
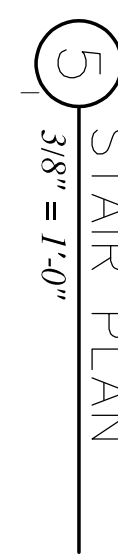
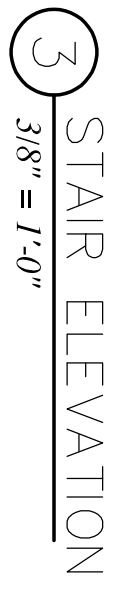
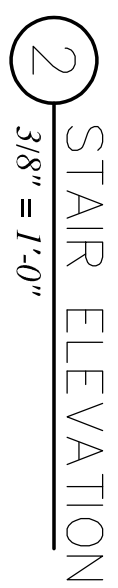
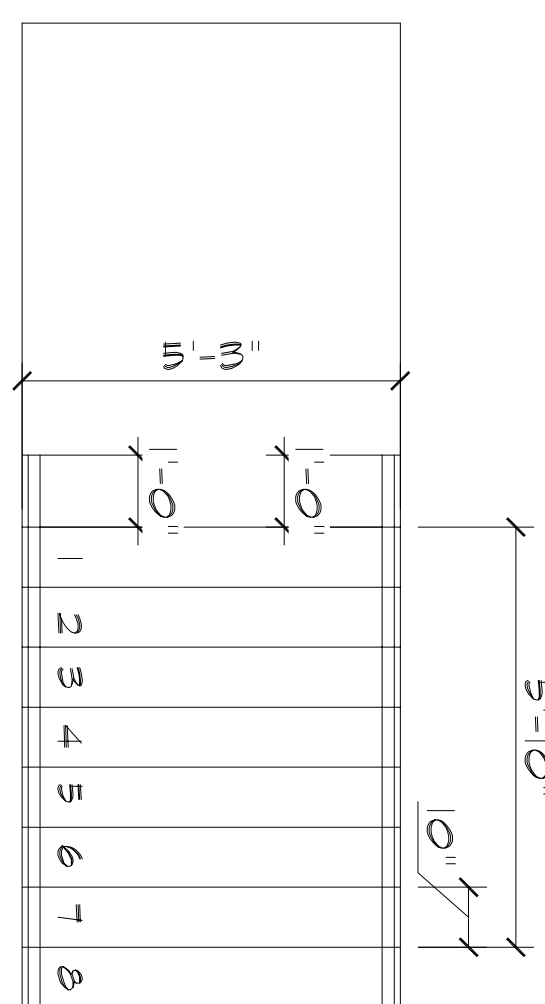
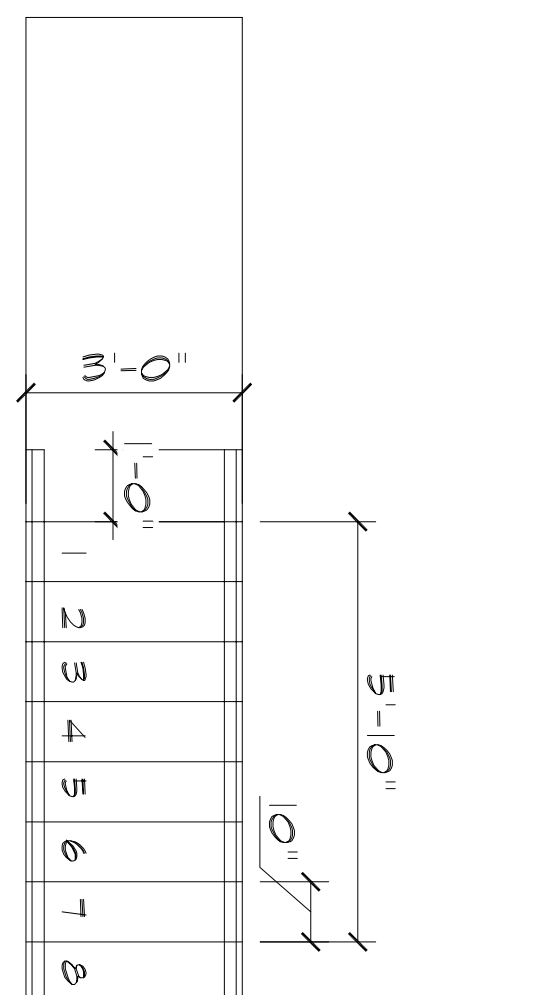
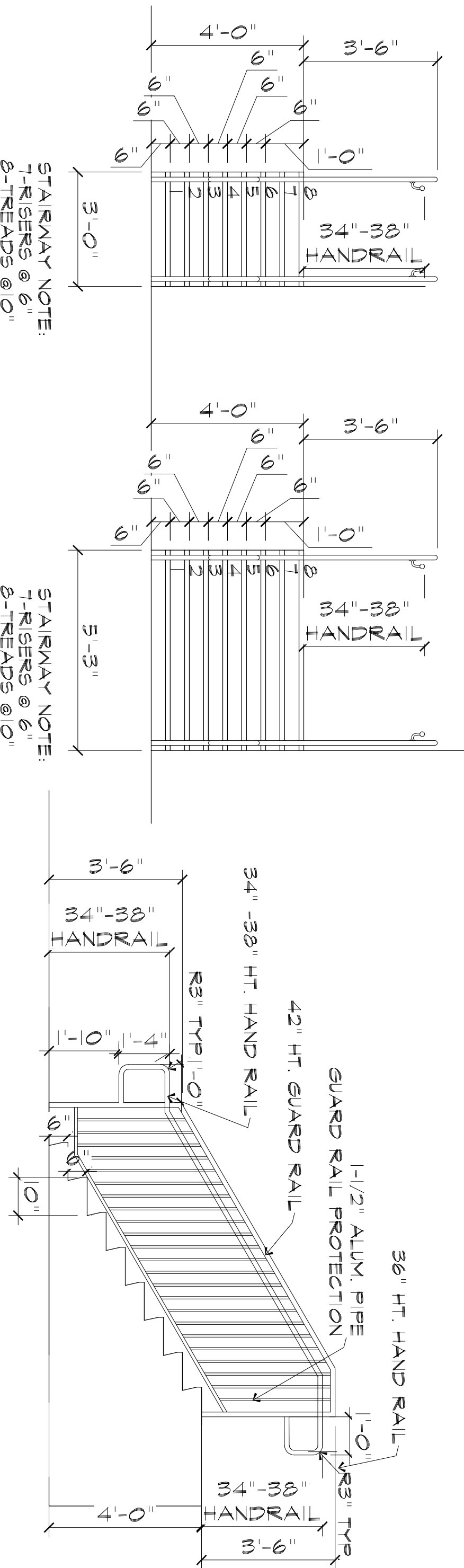
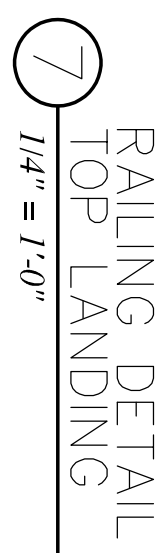
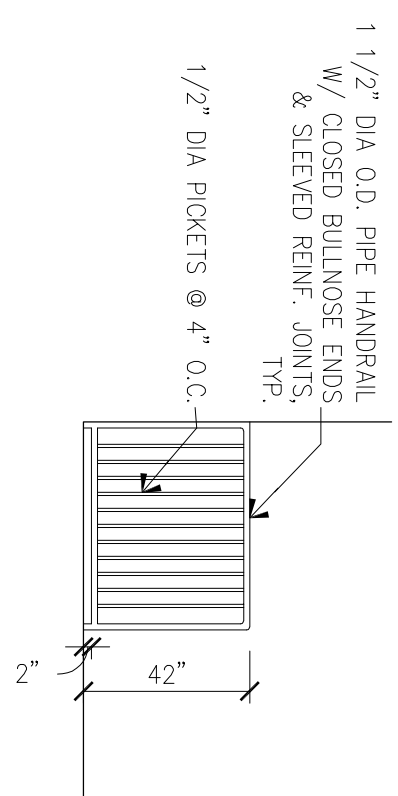
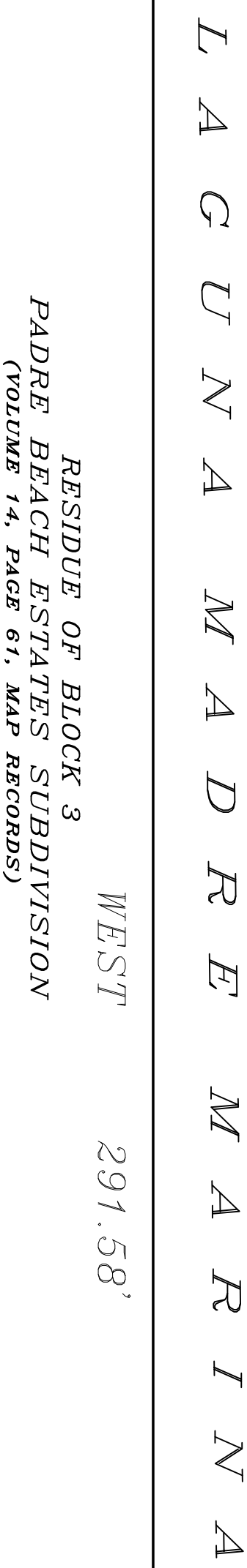
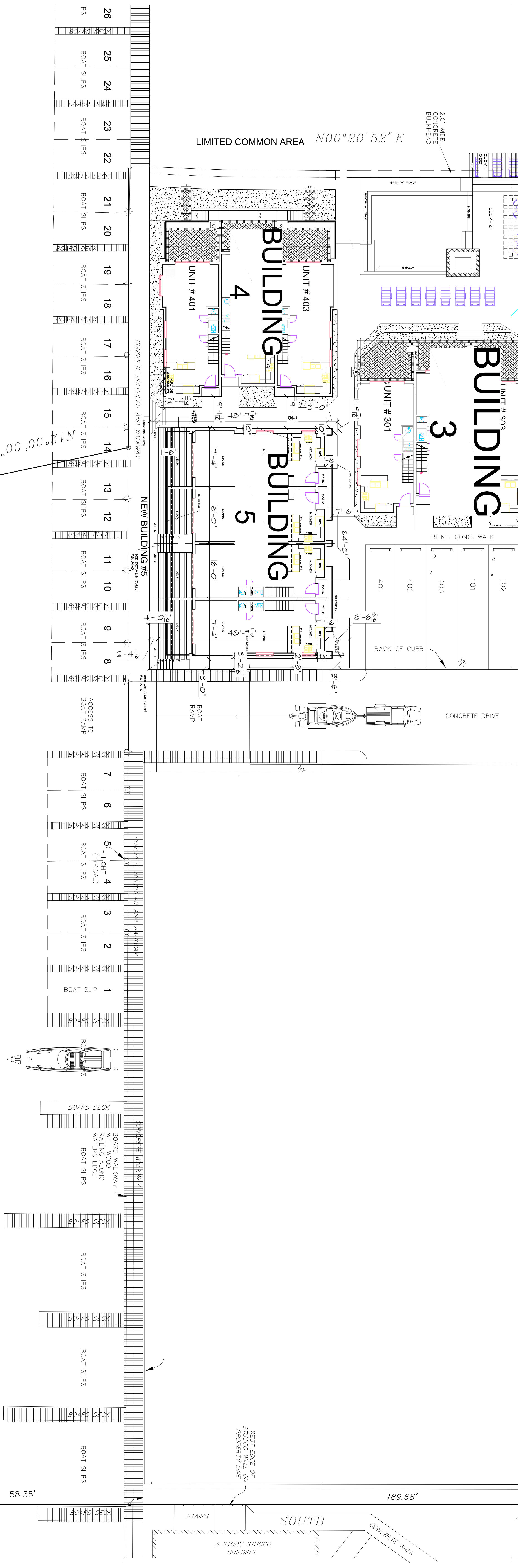
ARCHITECTURAL GENERAL NOTES

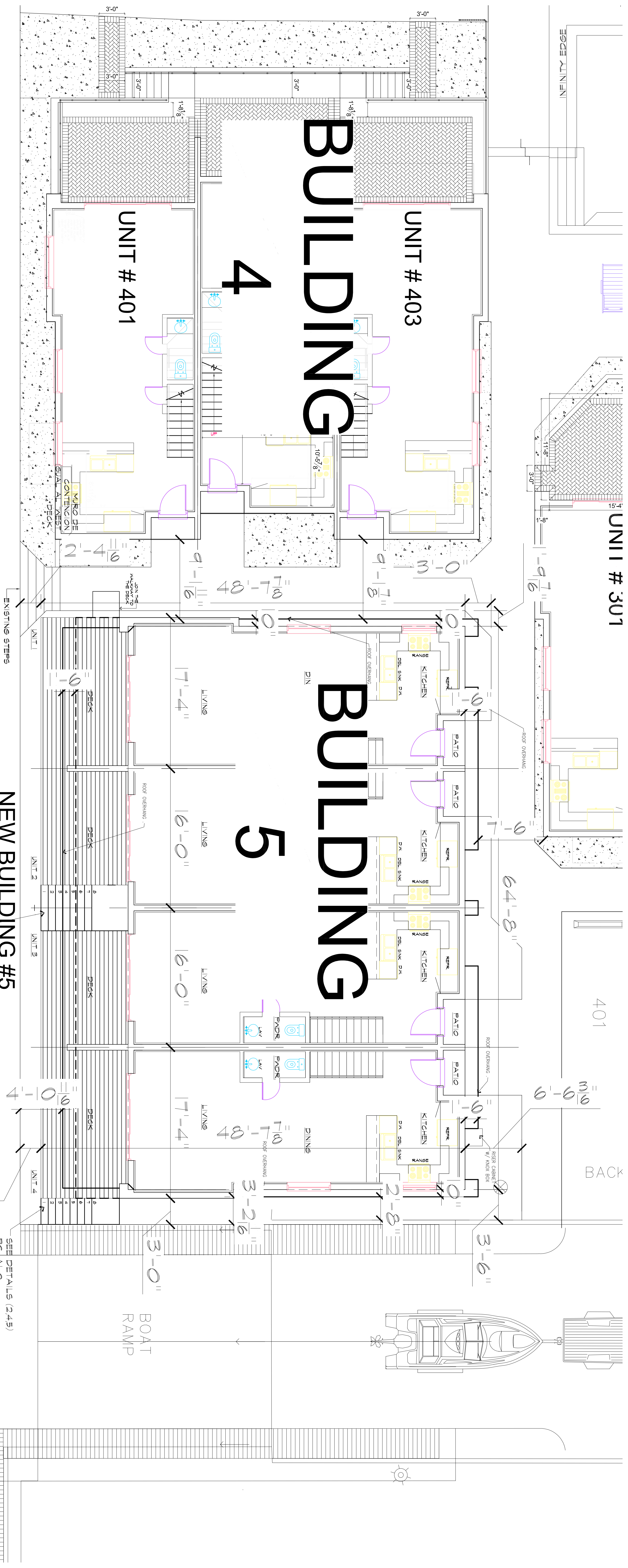
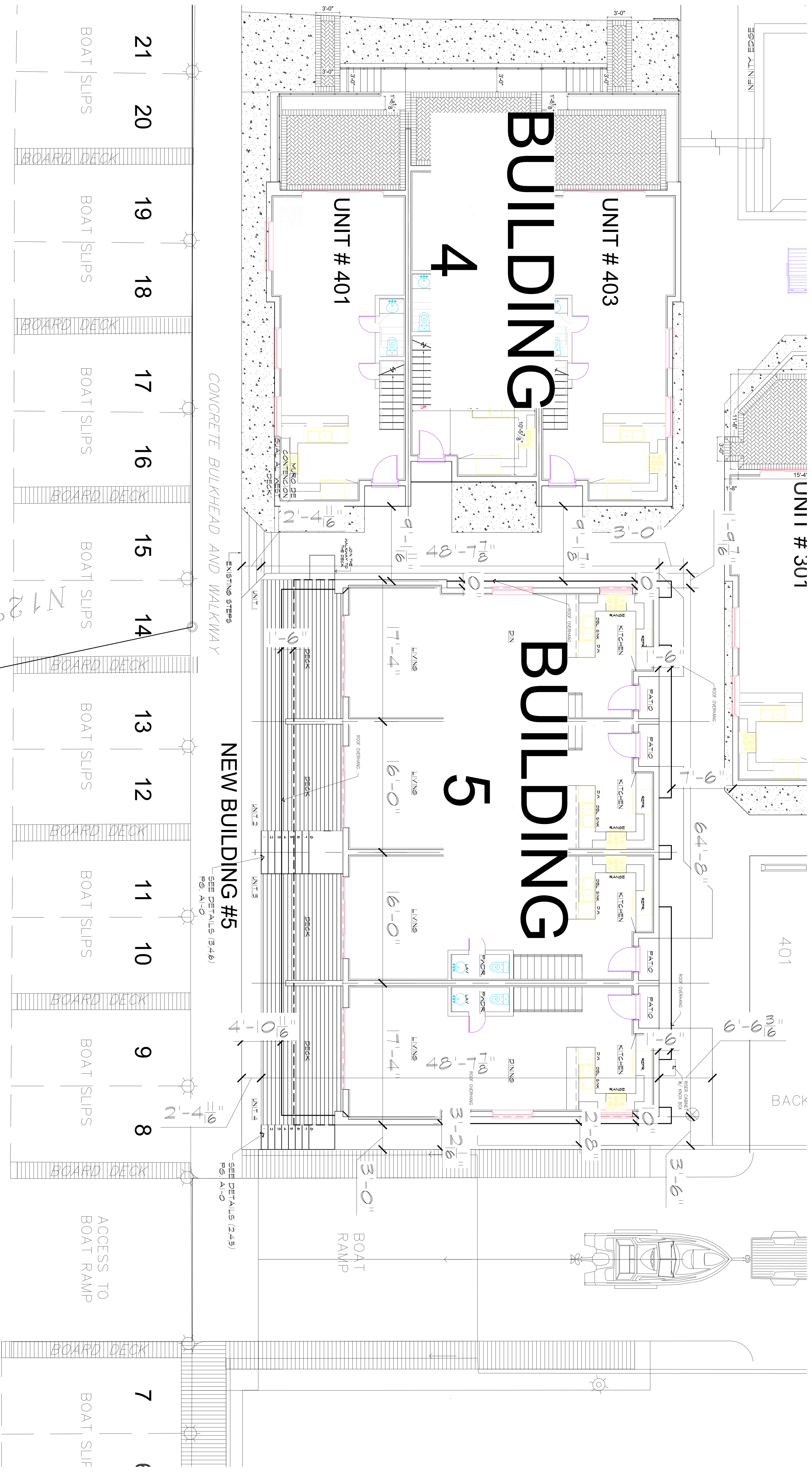
AIA DOCUMENT A-201 GENERAL CONDITIONS OF THE CONTRACT SHALL GOVERN ALL AREAS NOT COVERED BY THE NOTES BELOW.

1. CONTRACTOR TO FURNISH ALL LABOR & MATERIALS NECESSARY TO COMPLETE INSTALLATION AS DETAILED. EACH CONTRACTOR SHALL RESPECT THE WORK OF OTHERS AND SHALL BE RESPONSIBLE & LIABLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY HIS WORK.
2. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH FEDERAL, STATE & LOCAL CODES & ANY OTHER REGULATIONS HAVING JURISDICTION OVER SAID PROJECT. THE CONTRACTOR SHALL PROTECT & INDEMNIFY THE OWNER & OR ARCHITECT AGAINST ANY CLAIM OR LITIGATION OF ANY NATURE ARISING OUT OF ANY SUCH CODE OR REGULATION.
3. THE CONTRACTOR SHALL OBTAIN & PAY FOR ALL REQUIRED PERMITS, INSPECTIONS, & APPROVALS.
4. CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE ON-SITE CONDITIONS & PERFORM THE WORK IN ACCORDANCE WITH THE DESIGN PROJECT. IF EXISTING CONDITIONS DEVIATE SIGNIFICANTLY FROM THESE DRAWINGS NOTIFY THE ARCHITECT FOR FURTHER DIRECTION.
5. THE CONTRACTOR SHALL VISIT THE SITE & EXAMINE FOR ONESIEF ALL EXISTING CONDITIONS & LIMITATIONS WHICH AFFECT THE CONTRACT. THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS, TITLES & SUBDIVISIONS IN THESE DOCUMENTS TO DETERMINE THE EXISTING REAL OR ALLIED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR PUBLICATION BY ANY CONTRACTOR.
6. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE A THOROUGH EXAMINATION OF THE PLANS & DETAILS & VERIFY ALL DIMENSIONS & CONDITIONS THEREIN. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR REVIEW.
7. CONTRACTOR SHALL NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING MEASUREMENTS FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION OF AREAS IN QUESTION.
8. THE DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS PREPARED BY LISTED ARCHITECTS FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT & UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW STATUTORY & OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
9. THESE DRAWINGS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS SHALL NOT BE REPRODUCED OR COPIED EXCEPT BY WRITTEN AGREEMENT OF ARCHITECT .
10. WORKMANSHIP SHALL BE OF THE HIGHEST TYPE & MATERIALS USED OR SPECIFIED OF THE BEST QUALITY. THE MARKET AFFORDS THE BEST MATERIALS AVAILABLE. ALL SHALL CONFORM TO THE MANUFACTURERS SPECIFICATIONS.
11. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUB-CONTRACTORS AND SHALL BE RESPONSIBLE FOR THEIR CONTRACT FROM THE CONTRACTOR OR OWNER. THE CONTRACTORS INSTRUCTIONS SHALL BE FOLLOWED BY ALL TRADES.
12. ALL MATERIALS & WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE FITNESS.
13. GENERAL CONTRACTOR SHALL PROVIDE BRACING, SHORING AND BLOCKING FOR ALL EXISTING AND NEW CONSTRUCTION AREAS. (GENERAL CONTRACTOR TO COORDINATE W/ RESPECTIVE TRADES FOR EXACT LOCATIONS).
14. SHELVING
15. LAVA/TOPERS
16. CABINETS
17. DOOR ACCESSORIES
18. DOOR LOCKS
19. SIGNAGE
20. DOOR STOPS
21. COAT HOOKS
22. CONSTRUCTION SHALL COMPLY WITH THE CONSTRUCTION DOCUMENTS AND MEET ALL APPLICABLE HEALTH, LIFE, SAFETY, AND BUILDING CODES AS WELL AS TO THE SATISFACTION OF THE OWNER.
23. VERIFY DIMENSIONS, LOCATIONS, ELEVATIONS, & CONFIGURATIONS OF ALL ITEMS ASSOCIATED WITH THE INSTALLATIONS OF FURNISHING, MECHANICAL & ELECTRICAL EQUIPMENT W/ PLUMBING, MECHANICAL, & ELECTRICAL DRAWINGS.
24. ALL ANGLULAR OPENINGS IN CONSTRUCTION WILL BE SEALED W/ ELASTOMERIC GULCHING OR SEALANT, OR FINE RATED CALKING WHERE APPLICABLE.
25. DIMENSIONS ARE FROM FACE OF STUD OR DOU TO FACE OF STUD OR CML. DIMENSIONS DO NOT INCLUDE GYPSUM BOARD, FURNING, CHANNELS, OR FINISHES (UNLESS NOTED AS "CLEAR DIMENSION".
26. ALL DOOR RETURN CONSTRUCTION SHALL BE MINIMUM 4" FROM THE FACE OF ADJACENT OR PERPENDICULAR WALL CORNER (UNLESS NOTED OTHERWISE).
27. ALL DOORS AND DOOR HARDWARE SHALL MEET ALL APPLICABLE CODES - A.D.A. /TAS REQUIREMENTS.
28. ALL GYPSUM WALLBOARD SHALL BE 5/8" TYPE X GYPSUM WALLBOARD EXCEPT AT "WET AREAS". PROVIDE WATER RESISTANT GYPSUM WALLBOARD AT ALL WET AREAS INCLUDING: RESTROOMS/TOILETS
29. THE CONTRACTOR IS TO COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, ORDERS & OTHER LEGAL REQUIREMENTS OF THE ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION.
30. ALL REMOVED BUILDING MATERIAL & MISCELLANEOUS DEBRIS SHALL BE REMOVED FROM THE SITE. THIS MATERIAL SHALL NOT BE USED FOR INFILL MATERIAL, REMOVE ALL FLAMMABLE OR TOXIC SCRAPS DAILY & DEBRIS ON A REGULAR BASIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTION OF THE OWNER.
31. IN SPANS OF PLYWALL CONSTRUCTION LARGER THAN 30'-0" , PROVIDE A CONTROL JOINT UNLESS NOTED OTHERWISE ON DRAWINGS.
32. IN ALL TOILET ROOMS, CONCRETE SLAB SHALL NOT BE SLOPED TO FLOOR DRAINS. WATER TO BE SWEEP INTO FLOOR DRAINS.

1 CODE ANALYSIS

LISTI ARCHITECTS Sam A. List, AIA, Architect P.O. Box 2220 South Padre Island, Texas 78597 956-345-9960 956-761-2352	 <i>Sam A. List</i>	SIGNED: 02/22/19 EXPIRES: 09/19/20	COPYRIGHT© 2015 BY LISTI ARCHITECTS ALL RIGHTS RESERVED UNDER THE ARCHITECTURAL RIGHTS ACT. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LISTI ARCHITECTS, L.L.C.	UNLESS SPECIFIED ON THESE DRAWINGS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHALL BE NOTIFIED OF BY THE ARCHITECT PRIOR TO CONSTRUCTION.	PROJECT		ISSUE DATE		REVISIONS		SHEET INFORMATION		SHEET TITLE	
		LAS VELAS CONDOS 6101 PADRE BLVD. South Padre Island, TX					1	8/13/19	DRAWN BY SAZ	CHECKED BY SAZ	PROJECT NO. SP1-2500	PLOT DATE	CODE ANALYSIS	
											SCALE 1/4" = 1'-0"		SHEET A0-2.0	

[illegible]



LISTI ARCHITECTS Sam Al Ist AIA, Architect P.O.Box 2220 South Padre Island, Texas 78597 956-345-9960 956-761-2352		REGISTERED ARCHITECT STATE OF TEXAS 1671 4696 Sam Al Ist SIGNED: 10/22/19 EXPIRES: 8/1/20		CONSULTANT DATE: XXXXXX		COPYRIGHT©2014 BY LISTI ARCHITECTS ALL RIGHTS RESERVED UNDER THE COPYRIGHT ACT. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PRIOR PERMISSION IN WRITING FROM LISTI ARCHITECTS, L.L.C.		VERTICAL DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND LIST OF MATERIALS. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS, SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. 2404 S. EXP. 83 SUITE # E HARLINGEN, TX 78552 OFFICE: (956) 425-7040 DISTINCTIVE DRAFTING & DESIGN L.L.C.		PROJECT LAS VELAS CONDOS 6101 PADRE BLVD. South Padre Island, TX		ISSUE DATE		REVISIONS 1 8/13/19		SHEET INFORMATION DRAWN BY SAZ CHECKED BY SAL PROJECT NO. 000-0000 PLOT DATE		SHEET TITLE ENLARGED SITE PLAN SHEET A1-1.0	
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LISTI ARCHITECTS

Sam Al Ist AIA, Architect

P.O.Box 2220

South Padre Island, Texas

78597

956-345-9960

956-761-2332

REGISTERED ARCHITECT

STATE OF TEXAS

4906

SIGNED: 11/13/18

EXPIRES: 11/11/19

DATE: 02/19/19

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WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE DRAWING LIST OF MATERIALS AND SPECIFICATIONS AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE DRAWING LIST OF MATERIALS AND SPECIFICATIONS AND ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

2312 S. EXP. 83

SUITE B

HARLINGEN, TX 78552

OFFICE: (956) 425-7040

DISTINCTIVE DRAFTING & DESIGN L.L.C.

PROJECT

ISSUE DATE

REVISIONS

SHEET INFORMATION

SHEET TITLE

LAS VELAS CONDOS

6101 PADRE BLVD.

South Padre Island, TX

1

8/13/19

DRAWN BY

CHECKED BY

PROJECT NO.

PLOT DATE

NOTED 1ST LEVEL STORAGE LEVEL FLOOR PLAN

A-1.0

2 STORAGE FLOOR PLAN

SCALE: 1/4"=1'-0"

NOTES

UNLESS NOTED OTHERWISE (UNO.)

01. 3" CW N FLAT 2" X 4" STUDS @ 16" O.C.-EXTERIOR

02. 2" X 4" STUDS @ 16" O.C.-INTERIOR

03. TOP OF EYE-BROW CASED OPENINGS TO BE @ 8'-0" A.F.F.

WINDOW SCHEDULE				
SYM	N	H	TYPE	NOTES
(A)	4'-0"	4'-0"	FIXED FRAME	
(B)	5'-0"	6'-0"	FIXED FRAME	
(C)	1'-0"	2'-0"	FIXED FRAME	OBSCURED GLASS
(D)	4'-0"	6'-0"	SINGLE HUNG	
(E)	3'-0"	4'-0"	FIXED FRAME	

DOOR SCHEDULE					
SYM	N	H	T	MATL	NOTES
(1)	3'-4"	8'-0"	1-3/4"	GLASS	TRIPLE SLIDING GLASS DOORS
(2)	3'-0"	8'-0"	1-3/4"	GLASS	FRONT ENTRY DOOR
(3)	3'-4"	6'-8"	1-3/4"	GLASS	TRIPLE SLIDING GLASS DOORS
(4)	3'-6"	6'-8"	1-3/8"	GLASS	DELT SLIDING GLASS DOORS
(5)	3'-0"	6'-8"	1-3/8"	GLASS	DELT SLIDING GLASS DOORS
(6)	3'-0"	VEHICLE	1-3/8"	H.C.	EXTERIOR DOOR
(7)	3'-0"	6'-8"	1-3/8"	H.C.	INTERIOR DOOR
(8)	2'-8"	6'-8"	1-3/8"	H.C.	INTERIOR DOOR
(9)	2'-4"	6'-8"	1-3/8"	H.C.	INTERIOR DOOR
(10)	2'-0"	8'-0"	1-3/8"	H.C.	INTERIOR DOOR
(11)	1'-6"	6'-8"	1-3/8"	WOOD	DELT CLST. DOORS
(12)	3'-0"	3'-4"	1-3/4"	S.C.	1 HR FIRE RATED DOUBLE DOORS
(13)	2'-6"	6'-8"	1-3/8"	H.C.	POCKET DOOR
(14)	2'-4"	5'-0"		GLASS	SHOWER DOOR

UNLESS NOTED OTHERWISE

NOTES

1. FIRST FLOOR CEILING TO BE 10'-0"

2. FIRST FLOOR WINDOWS & DOORS TO BE @ 8'-0" HD. HT.

3. SECOND FLOOR CEILING TO BE 9'-0"

4. 1 HR FIRE RATED DOUBLE DOORS

5. GYP. BRD. WALLS & CEILINGS

6. ALL ANGLES TO BE 45 DEGREES

7. DOOR HARDWARE TO BE BRUSHED ALUM.

8. WINDOWS TO BE ALUM. FRAME PER BUILDER'S SPEC. APPROVED BY DEVELOPER

9. ALL EXTERIOR DOORS TO BE 1 3/4" SOLID CORE

10. ALL EXTERIOR DOORS TO BE 1 3/4" SOLID CORE

11. ALL CABINETS PER BUILDER'S SPEC. APPROVED BY DEVELOPER

12. ALL CABINETS PER BUILDER'S SPEC. APPROVED BY DEVELOPER

13. ALL INTERIOR FINISHES & COLORS AS SELECTED BY DEVELOPER

14. ALL EXTERIOR WALLS TO BE INSULATED W/ 1 1/2" BATT INSULATION

15. USE WATERPROOF GYP. BRD. @ ALL BATHS AND WET AREAS

16. ALLOW FOR BLOCKING @ BATH TOWEL BARS & ACCESSORIES

17. VERIFY LOCATION W/ DEVELOPER

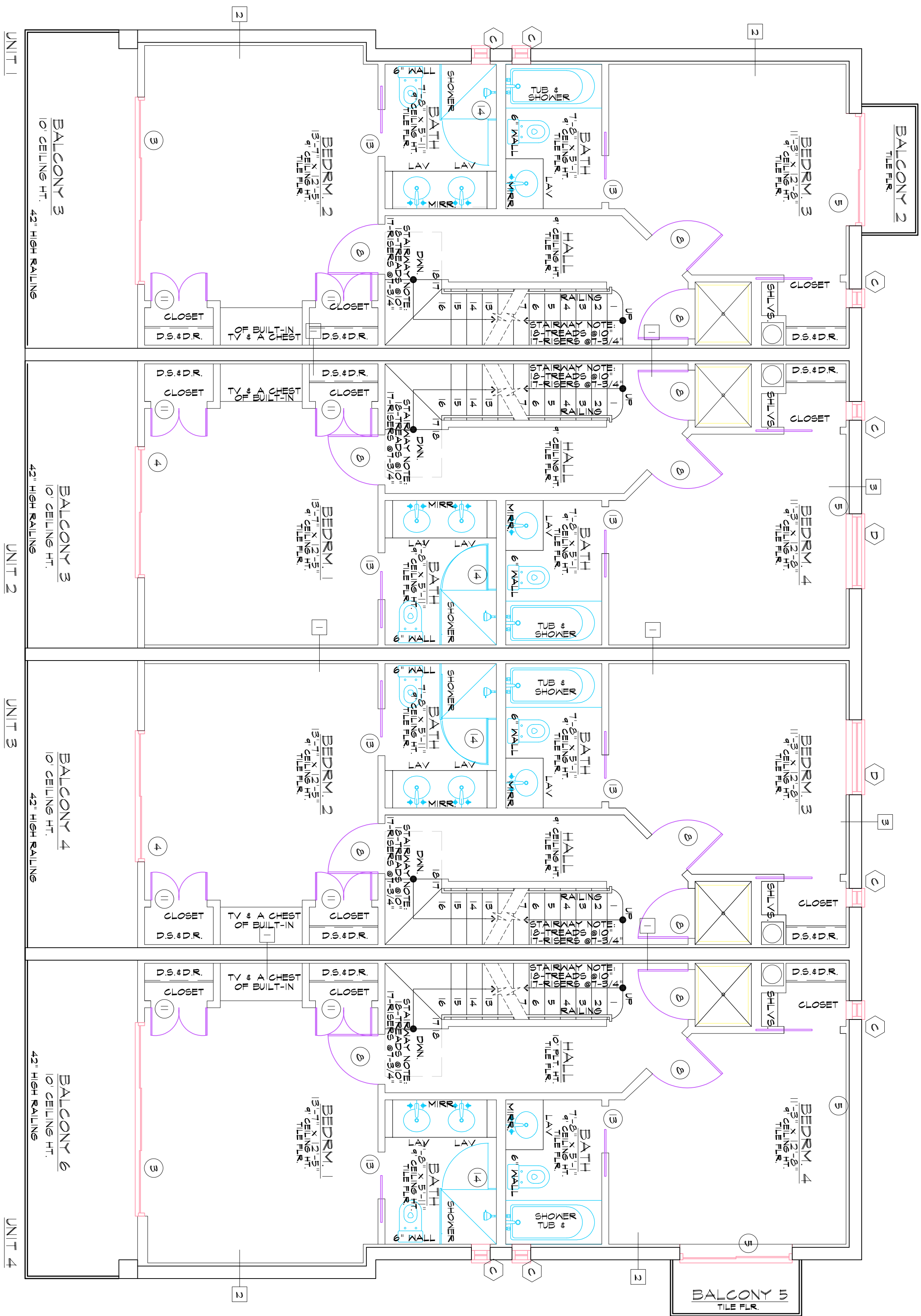
A. THESE PLANS ARE INTENDED TO PROVIDE THE BASIC INFORMATION FOR CONSTRUCTION. THESE PLANS MUST BE VERIFIED AND CHECKED COMPLETELY BY THE GENERAL CONTRACTOR, ANY DISCREPANCY, ERROR AND/OR OMISSION, IF FOUND, IS TO BE BROUGHT IMMEDIATELY TO THE OWNER BEFORE CONSTRUCTION WORK OR PURCHASE IS MADE.

B. FEDERAL, STATE COUNTY, AND LOCAL CITY ORDINANCES AND BUILDING CODES TAKE PRECEDENCE OVER ANY PART OF THESE DRAWINGS. ANY CONFLICT MUST BE ADHERED TO THE PROJECT BEFORE AND DURING CONSTRUCTION.

GENERAL NOTES:

A. THESE PLANS ARE INTENDED TO PROVIDE THE BASIC INFORMATION FOR CONSTRUCTION. THESE PLANS MUST BE VERIFIED AND CHECKED COMPLETELY BY THE GENERAL CONTRACTOR FOR ANY DISCREPANCY, ERROR, AND/OR OMISSION. IT IS TO BE BROUGHT IMMEDIATELY TO THE OWNER BEFORE CONSTRUCTION WORK OR PURCHASE IS MADE.

B. FEDERAL, STATE, COUNTY AND LOCAL CITY ORDINANCES AND BUILDING CODES TAKE PRECEDENCE OVER ANY PART OF THESE DRAWINGS. ANY CONFLICT MUST BE ADHERED TO THE PROJECT BEFORE AND DURING CONSTRUCTION.



2ND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE				
SYM.	H	D	MATL.	NOTES
①	3'-4"	8'-0"	1-3/4"	GLASS TRIPLE GLASS DOORS
②	3'-0"	8'-0"	1-3/4"	GLASS FRONT ENTRY DOOR
③	3'-4"	6'-8"	1-3/4"	GLASS TRIPLE GLASS DOORS
④	3'-6"	6'-8"	1-3/8"	GLASS DEL. SLIDING GLASS DOORS
⑤	3'-0"	6'-8"	1-3/8"	GLASS DEL. SLIDING GLASS DOORS
⑥	3'-0"	6'-8"	1-3/8"	GLASS EXTERIOR DOOR
⑦	3'-0"	6'-8"	1-3/8"	WOOD INTERIOR DOOR
⑧	2'-8"	6'-8"	1-3/8"	WOOD INTERIOR DOOR
⑨	2'-4"	6'-8"	1-3/8"	WOOD INTERIOR DOOR
⑩	2'-0"	8'-0"	1-3/8"	WOOD INTERIOR DOOR
⑪	1'-6"	6'-8"	1-3/8"	WOOD DEL. CLUST. DOORS
⑫	3'-0"	3'-4"	1-3/4"	WOOD TRIPLE GLASS DOORS
⑬	2'-6"	6'-8"	1-3/8"	WOOD POCKET DOOR
⑭	3'-0"			WOOD SHOWER DOOR

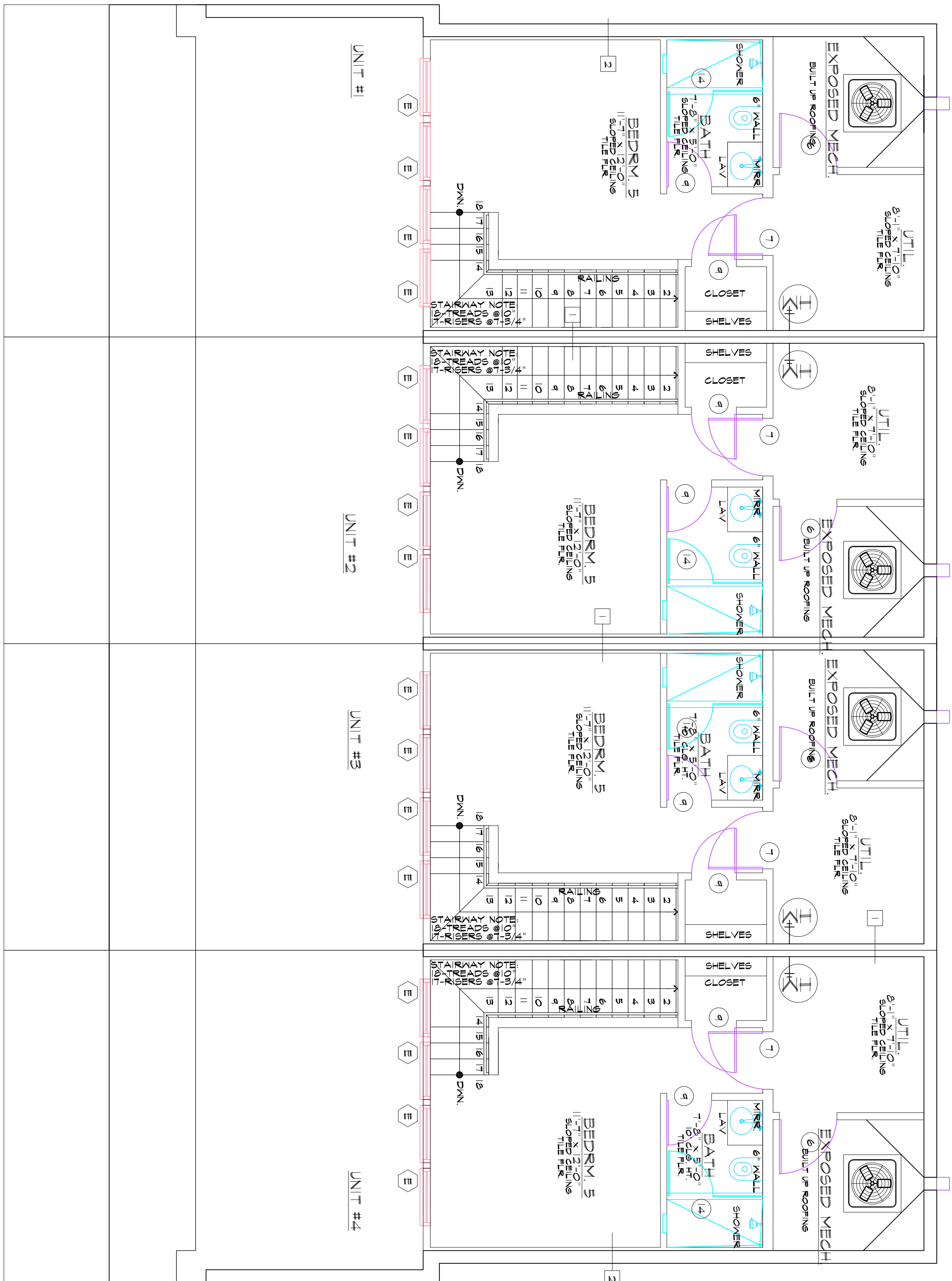
WINDON SCHEDULE			
SYM.	WINDON		NOTES
	N	E	
A	4-O	FIELD BRAYE	
B	5-O	FIELD BRAYE	
C	1-O	FIELD BRAYE	
D	6-O	SHOUL HINS	
E	4-O	FIELD BRAYE	
F	4-O	FIELD BRAYE	
G	5-O	FIELD BRAYE	
H	4-O	FIELD BRAYE	
I	4-O	FIELD BRAYE	
J	4-O	FIELD BRAYE	
K	4-O	FIELD BRAYE	
L	4-O	FIELD BRAYE	
M	4-O	FIELD BRAYE	
N	4-O	FIELD BRAYE	
O	4-O	FIELD BRAYE	
P	4-O	FIELD BRAYE	
Q	4-O	FIELD BRAYE	
R	4-O	FIELD BRAYE	
S	4-O	FIELD BRAYE	
T	4-O	FIELD BRAYE	
U	4-O	FIELD BRAYE	
V	4-O	FIELD BRAYE	
W	4-O	FIELD BRAYE	
X	4-O	FIELD BRAYE	
Y	4-O	FIELD BRAYE	
Z	4-O	FIELD BRAYE	

LISTI ARCHITECTS Sam Al Jisti AIA, Architect P.O. Box 2220 South Padre Island, Texas 78597 956-345-9960 956-761-2352		 <i>Sam Al Jisti</i> SIGNED: 11/13/18 EXPIRES: 11/11/19			
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DATE: 02/19/19		WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL PRECEDE ALL OTHER DIMENSIONS. CONTRACTOR SHALL VERIFY DIMENSIONS AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND LISTI ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.			
DISTINCTIVE DRAFTING & DESIGN L.L.C.		 2312 S. EXP. 83 SUITE B HARLINGEN, TX. 78552 OFFICE: (956) 425-7040			
PROJECT		ISSUE DATE		REVISIONS	
LAS VELAS CONDOS 6101 PADRE BLVD. South Padre Island, TX				1	8/13/19
				SHEET INFORMATION	
				DRAWN BY	
				PROJECT NO.	
				CHECKED BY	
				PLAT DATE.	
				SCALE	
				SEE NOTES	
				SHEET	
				A-1.1	
				NOTED 2ND LEVEL FLOOR PLAN	

UNLESS NOTED OTHERWISE

NOTES

1. FIRST FLOOR CEILING TO BE 10'-0"
2. FIRST FLOOR WINDOWS & DOORS TO BE @ 8'-0" HD. HT.
3. SECOND FLOOR CEILING TO BE 9'-0"
4. SECOND FLOOR WINDOWS & DOORS TO BE @ 8'-0" HD. HT.
5. GYP. BRD. WALLS & CEILINGS
6. ALL ANGLES TO BE 45 DEGREES
7. DOOR HARDWARE TO BE BRUSHED ALUM.
8. WINDOWS TO BE ALUM. FRAME PER BUILDER'S SPEC. APPROVED BY DEVELOPER
9. ALL EXTERIOR DOORS TO BE 1 3/4" SOLID CORE
10. ALL INTERIOR DOORS TO 1 3/8" HOLLOW CORE MASONITE
11. ALL CABINETS PER BUILDER'S SPEC. APPROVED BY DEVELOPER
12. ALL BALCONY & STAIR RAILINGS PER BUILDER'S SPEC APPROVED BY DEVELOPER
13. ALL INTERIOR FINISHES & COLORS AS SELECTED BY DEVELOPER
14. ALL EXTERIOR WALLS TO BE INSULATED W/ 1" BATT INSULATION
15. USE WATERPROOF GYP. BRD. ON ALL BATHS AND WET AREAS.
16. USE CEMENT BOARD @ SHOWER AREA
17. ALLOW FOR BLOCKING @ BATH TOWEL BARS & ACCESSORIES
18. REMIT LOCATION W/ DEVELOPER



GENERAL NOTES:

- A. THESE PLANS ARE INTENDED TO PROVIDE THE BASIC INFORMATION FOR CONSTRUCTION. THESE PLANS MUST BE VERIFIED AND CHECKED COMPLETELY BY THE GENERAL CONTRACTOR ANY DISCREPANCY, ERROR AND/OR OMISSION IF FOUND, IS TO BE BROUGHT IMMEDIATELY TO THE OWNER BEFORE CONSTRUCTION WORK OR PURCHASE IS MADE.
- B. FEDERAL, STATE COUNTY AND LOCAL CITY ORDINANCES AND BUILDING CODES TAKE PRECEDENCE OVER ANY PART OF THESE DRAWINGS. ANY CONFLICT MUST BE ADHERED TO THE PROJECT BEFORE AND DURING CONSTRUCTION.

DOOR					NOTES
SYN.	K	H	T	MAT.	
①	3'-4"	8'-0"	1-3/4"	GLASS	TRIPLE SLIDING GLASS DOORS
②	3'-0"	8'-0"	1-3/4"	GLASS	FRONT ENTRY DOOR
③	3'-4"	6'-8"	1-3/4"	GLASS	TRIPLE SLIDING GLASS DOORS
④	3'-6"	6'-8"	1-3/8"	GLASS	DEL. SLIDING GLASS DOORS
⑤	3'-0"	6'-8"	1-3/8"	GLASS	DEL. SLIDING GLASS DOORS
⑥	3'-0"	6'-8"	1-3/8"	GLASS	DEL. SLIDING GLASS DOORS
⑦	3'-0"	6'-8"	1-3/8"	WOOD	EXTERIOR DOOR
⑧	3'-0"	6'-8"	1-3/8"	WOOD	INTERIOR DOOR
⑨	3'-4"	6'-8"	1-3/8"	WOOD	INTERIOR DOOR
⑩	2'-0"	8'-0"	1-3/8"	WOOD	INTERIOR DOOR
⑪	1'-6"	6'-8"	1-3/8"	WOOD	DEL. CLUST. DOORS
⑫	3'-0"	3'-4"	1-3/4"	WOOD	1 HR. FIRE RATED DOUBLE DOORS
⑬	2'-6"	6'-8"	1-3/8"	WOOD	POCKET DOOR
⑭	2'-4"	5'-0"		GLASS	SHOWER DOOR

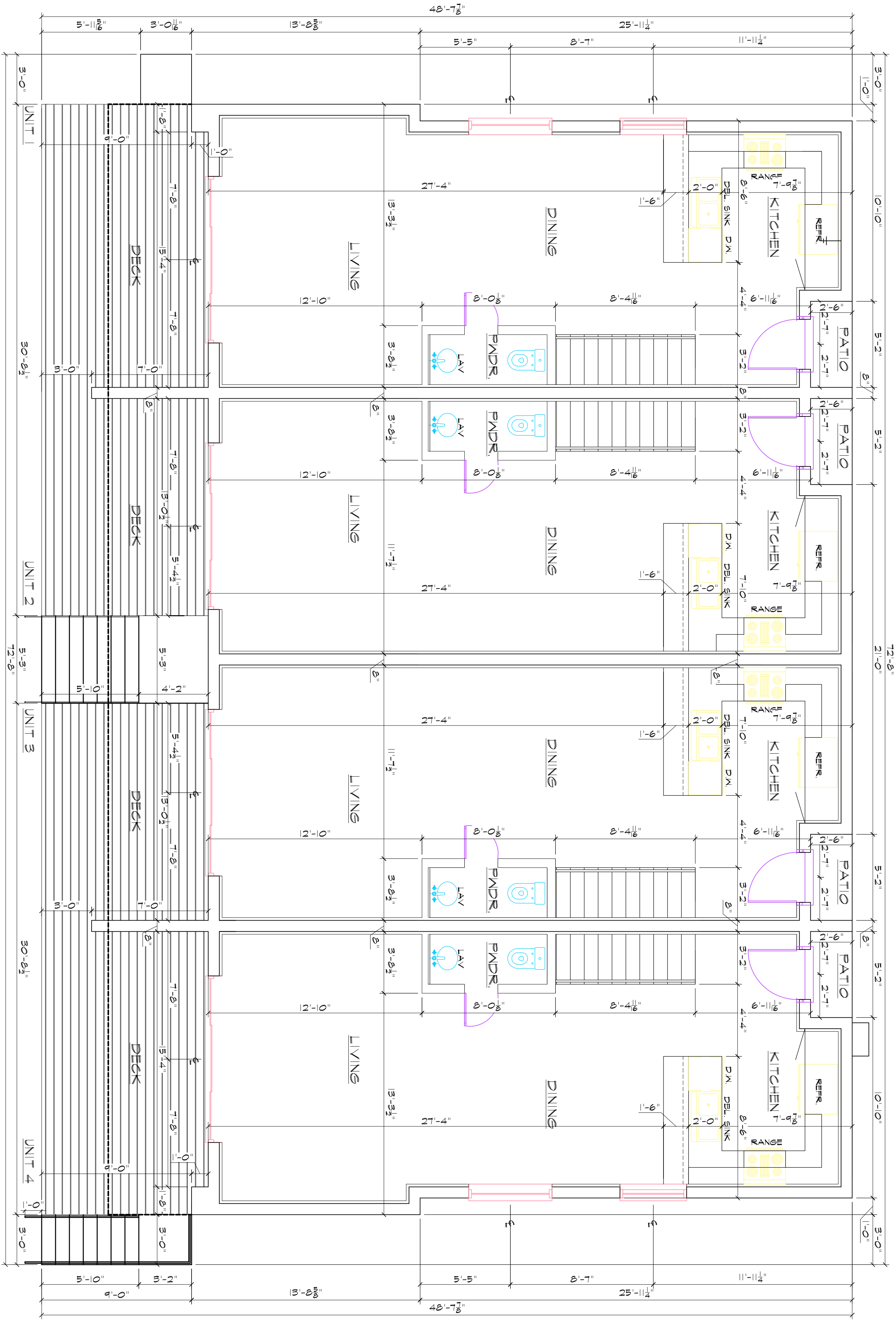
UNLESS NOTED OTHERWISE

NOTES

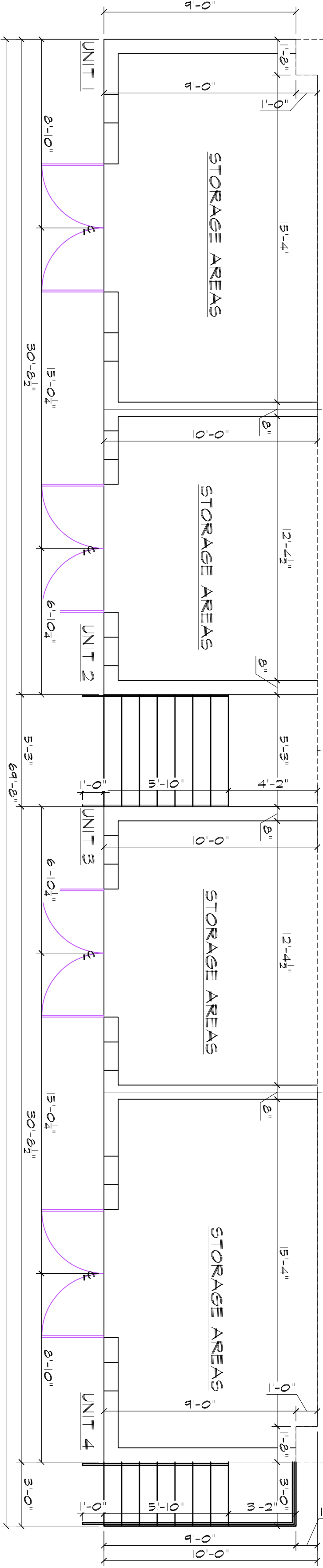
1. FIRST FLOOR CEILING TO BE 7'03"
2. SECOND FLOOR CEILING TO BE @ 8'4" HD. HT.
3. SECOND FLOOR CEILING TO BE 8'0"
4. SECOND FLOOR WALLS & DOORS TO BE @ 8'4" HD. HT.
5. GYP. BRD. WALLS & CEILINGS
6. ALL ANGLES TO BE 45 DEGREES
7. DOOR HARDWARE TO BE BRUSHED ALUM.
8. WINDOWS TO BE ALUM. FRAME PER BUILDER'S SPEC. APPROVED BY DEVELOPER
9. ALL EXTERIOR DOORS TO BE 1 3/4" SOLID CORE
10. ALL INTERIOR DOORS TO BE 1 3/4" HOLLOW CORE MASONITE
11. ALL WINDOWS PER BUILDER'S SPEC. APPROVED BY DEVELOPER
12. ALL BALCONY & PATIO RAILINGS PER BUILDER'S SPEC. APPROVED BY DEVELOPER
13. ALL EXTERIOR FINISHES & COLORS AS SELECTED BY DEVELOPER
14. ALL INTERIOR WALLS TO BE INSULATED W/ 1 1/2" BATT INSULATION
15. USE WATERPROOF GYP. BRD. @ ALL BATHS AND WET AREAS.
16. USE CEILING BOARD @ SHOWER AREA
17. ALLOW FOR BLOCKING @ BATH TOWEL BARS & ACCESSORIES
18. IDENTIFY LOCATION W/ DEVELOPER

WINDON SCHEDULE				
SYM.	KINDON			NOTES
	N	H	TYPE	
A	4-O	4-O	FIXED FRAME	
B	5-O	6-O	FIXED FRAME	
C	1-O	2-O	FIXED FRAME	OBSCURED GLASS
D	4-O	6-O	SINGLE HING	
E	5-O	4-O	FIXED FRAME	

LISTI ARCHITECTS Sam Al Jisti AIA, Architect P.O.Box 2220 South Padre Island, Texas 78597 956-345-9960 956-761-2352		 SIGNED: 11/13/18 EXPIRES: 11/11/19		CONSULTANT DATE: 02/19/19	
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LAS VELAS CONDOS			ISSUE DATE		
6101 PADRE BLVD.			1 8/13/19		
South Padre Island, TX					
			</		



1 1ST LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



2 STORAGE FLOOR PLAN
SCALE: 1/4"=1'-0"

LISTI ARCHITECTS

Sam Al-Jist AIA, Architect

P.O.Box 2220

South Padre Island, Texas

78597

956-345-9960

956-761-2332

SIGNED: 11/13/19

EXPIRES: 11/11/19

DATE: 02/09/19

REGISTERED ARCHITECT

STATE OF TEXAS

4906

Sam Al-Jist

CONSULTANT

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PROJECT NO.

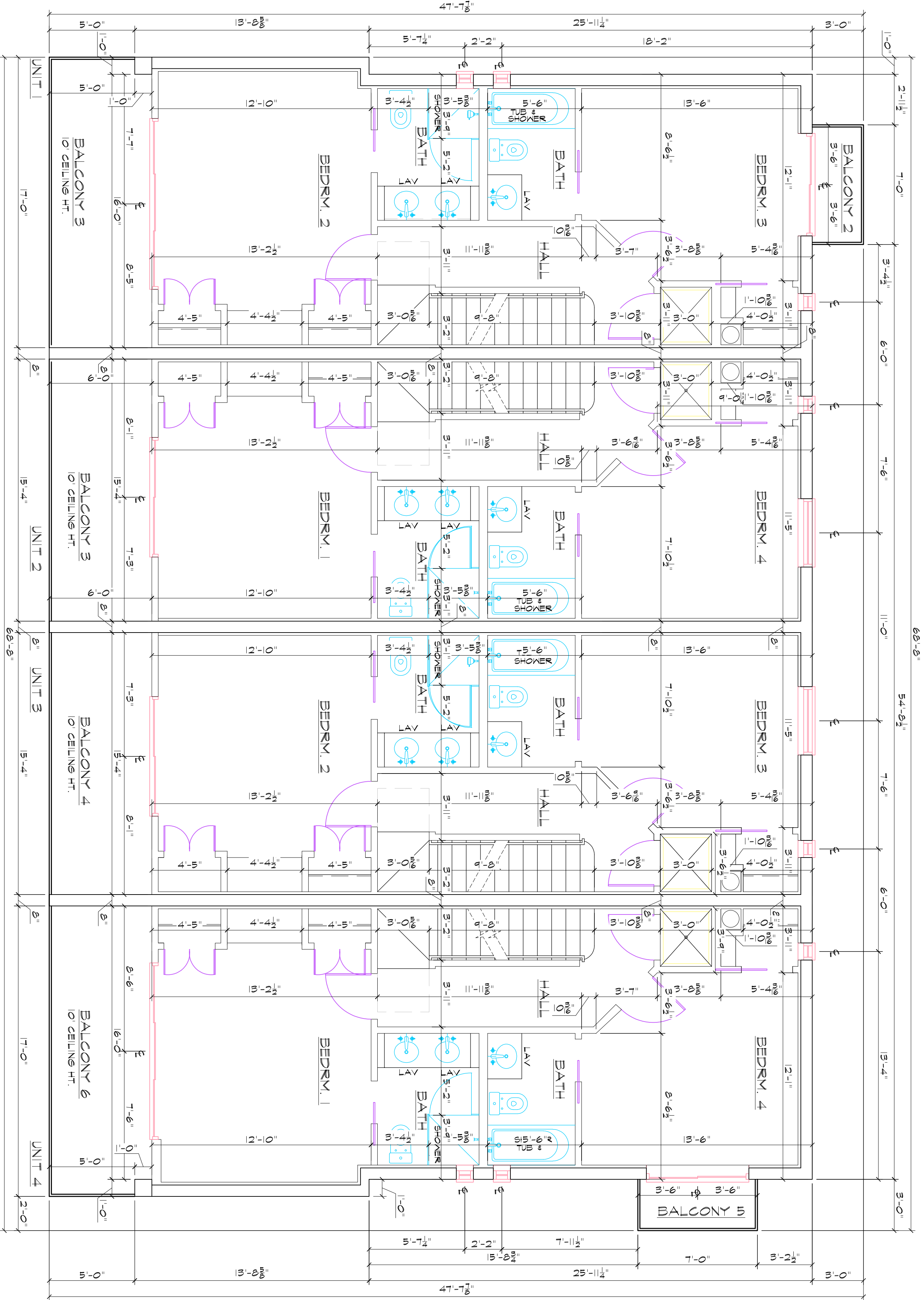
PLOT DATE

SCALE

SEE NOTES

DIM. 1ST LEVEL & STORAGE LEVEL FLOOR PLAN

SHEET A-1.3



2ND LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

LISTI ARCHITECTS

Sam Al-Jist AIA, Architect

P.O.Box 2220

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78597

956-345-9960

956-761-2352

SIGNED: 11/13/18

EXPIRES: 11/11/19

DATE: 02/19/19

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REGISTERED ARCHITECT

STATE OF TEXAS

4906

SEAL

DESIGN BY: Sam Al-Jist

CONSULTANT

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SHEET TITLE

1

8/13/19

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PROJECT NO.

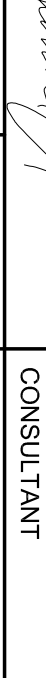
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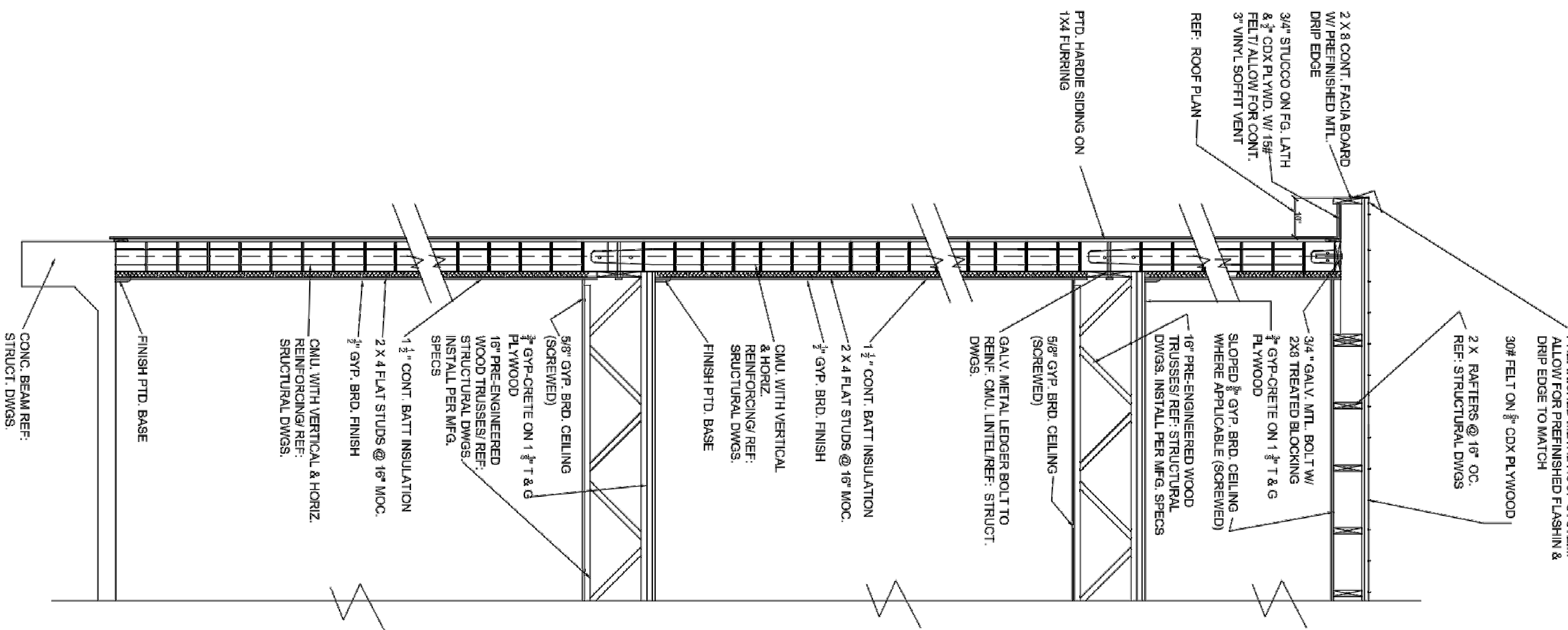
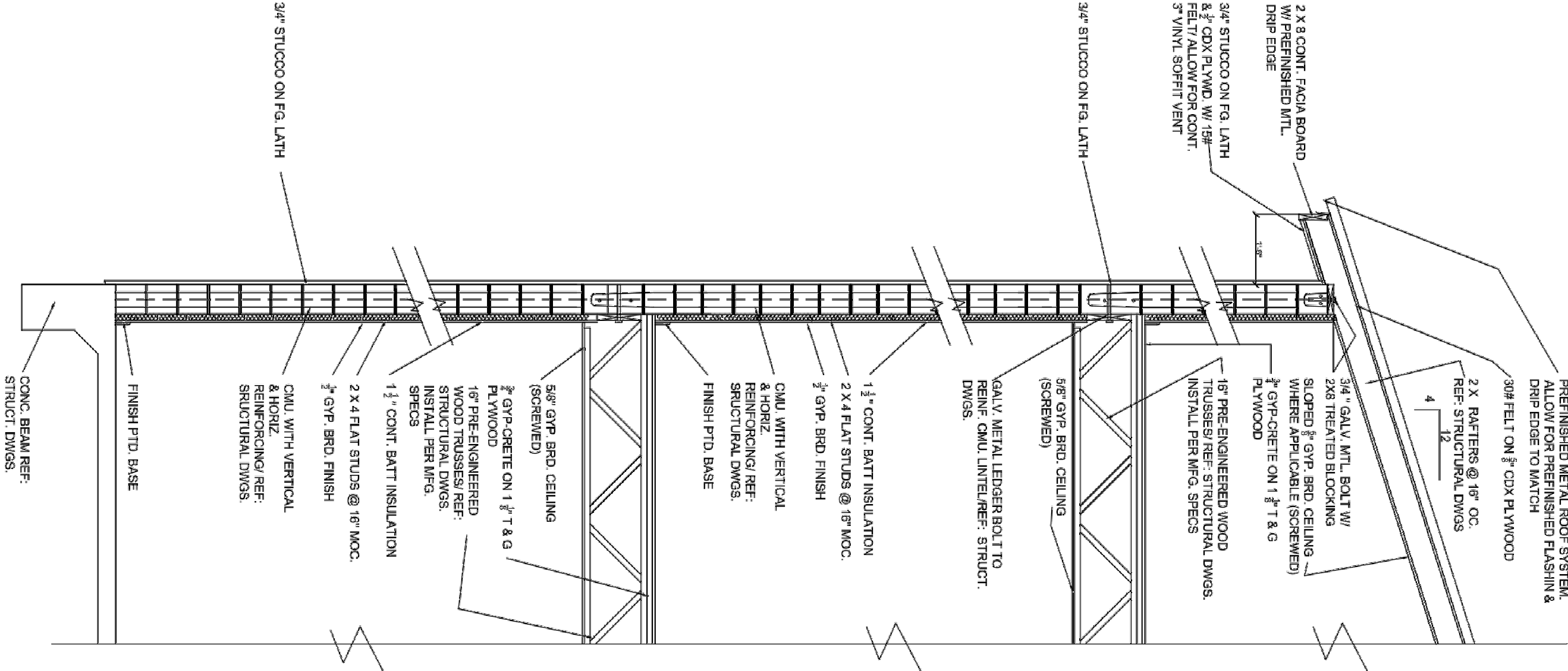
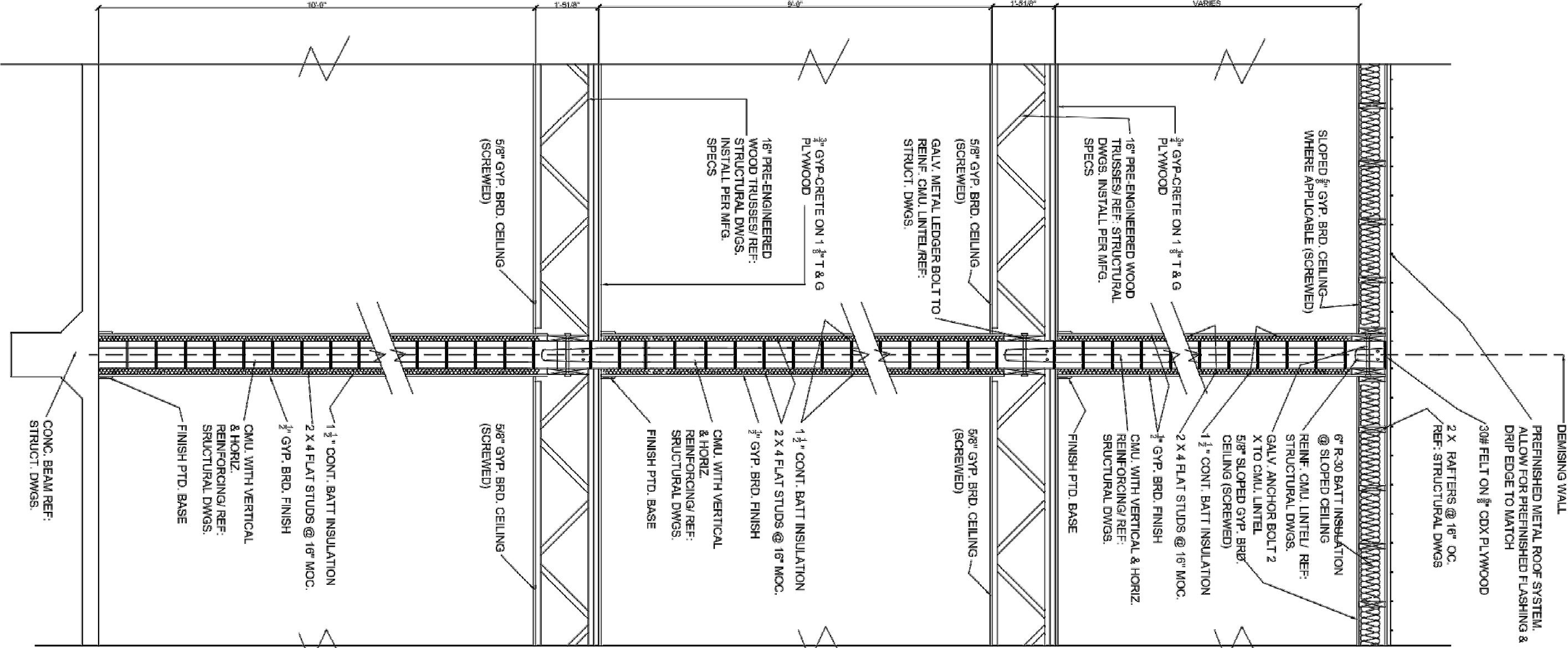
SCALE

SEE NOTES

DIM. 2ND LEVEL FLOOR PLAN

SHEET A-1.4

LISTI ARCHITECTS Sam A. Listi AIA, Architect P.O.Box 2220 South Padre Island, Texas 78597 956-345-9960 956-761-2352		REGISTERED ARCHITECT STATE OF TEXAS 4906 1511 SIGNED: 11/13/18 EXPIRES: 11/11/19 		CONSULTANT		COPYRIGHT©2014 BY LISTI ARCHITECTS ALL RIGHTS RESERVED UNDER THE COPYRIGHT ACT. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITING FROM LISTI ARCHITECTS, L.L.C.		WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PREFERENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND LIST OF MATERIALS SHALL BE THE BASIS FOR ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.		 2312 S. EXP. 83 SUITE B HARLINGEN, TX 78552 OFFICE: (956) 425-7040 DISTINCTIVE DRAFTING & DESIGN L.L.C.		PROJECT		ISSUE DATE		REVISIONS		SHEET INFORMATION		SHEET TITLE	
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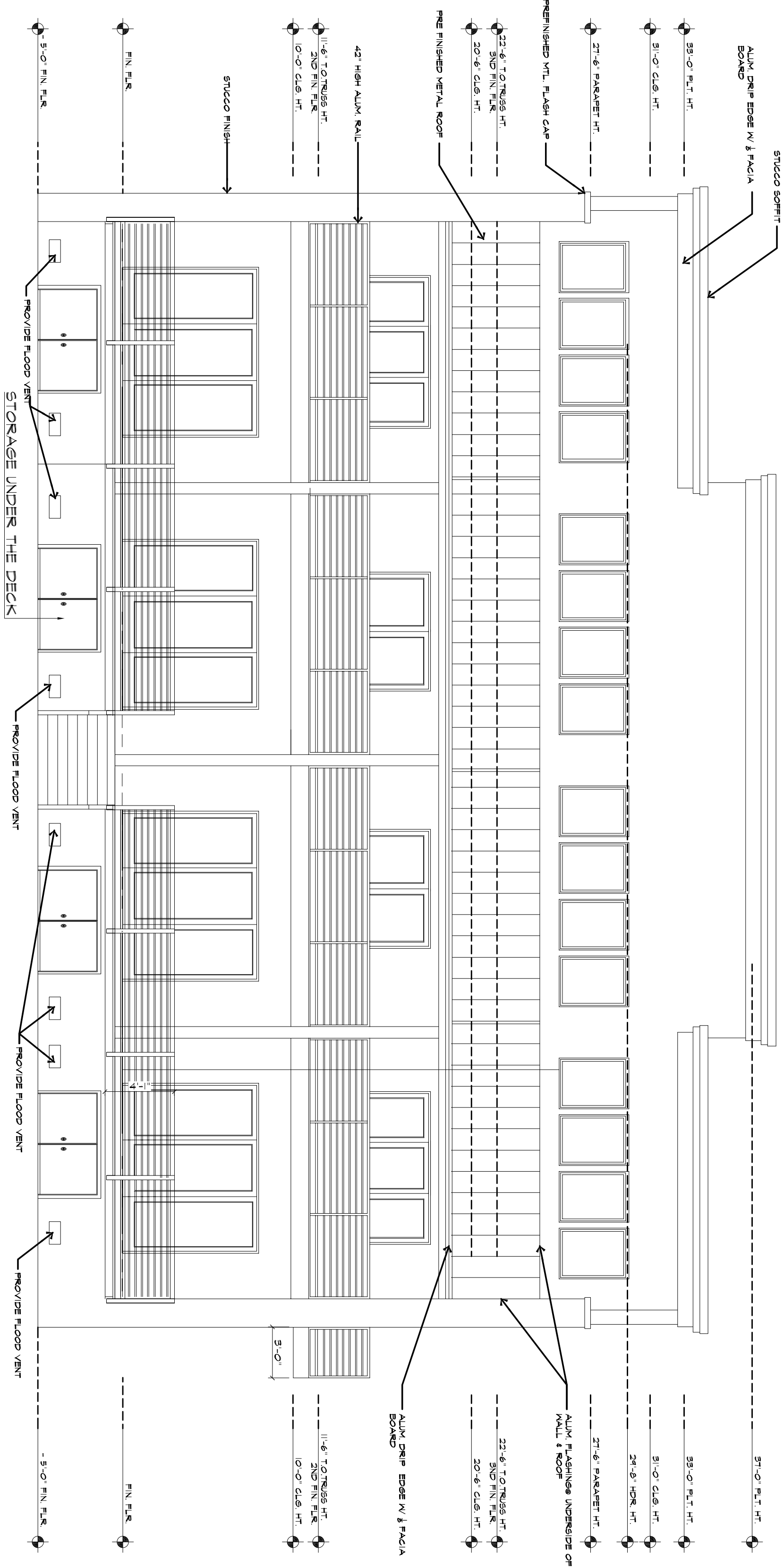


1 TWO HOUR WALL SECTION U-618

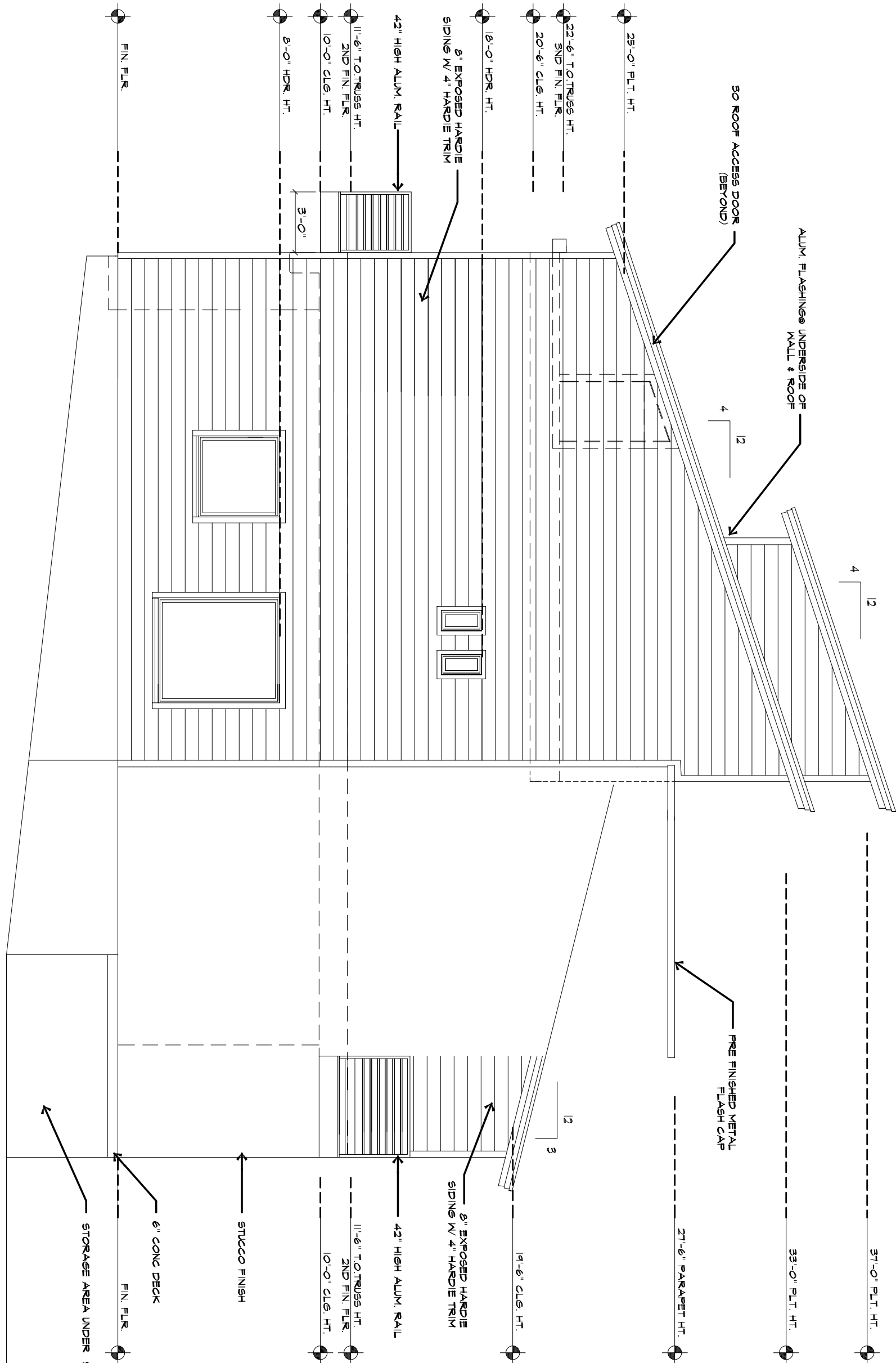
2 WALL SECTION

3 WALL SECTION

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LAS VELAS CONDOS 6101 PADRE BLVD. South Padre Island, TX						1 8/13/19		DRAWN BY — PROJECT NO. — SCALE SEE NOTES		CHECKED BY — PLOT DATE. —		ELEVATIONS		SHEET A-1.7							



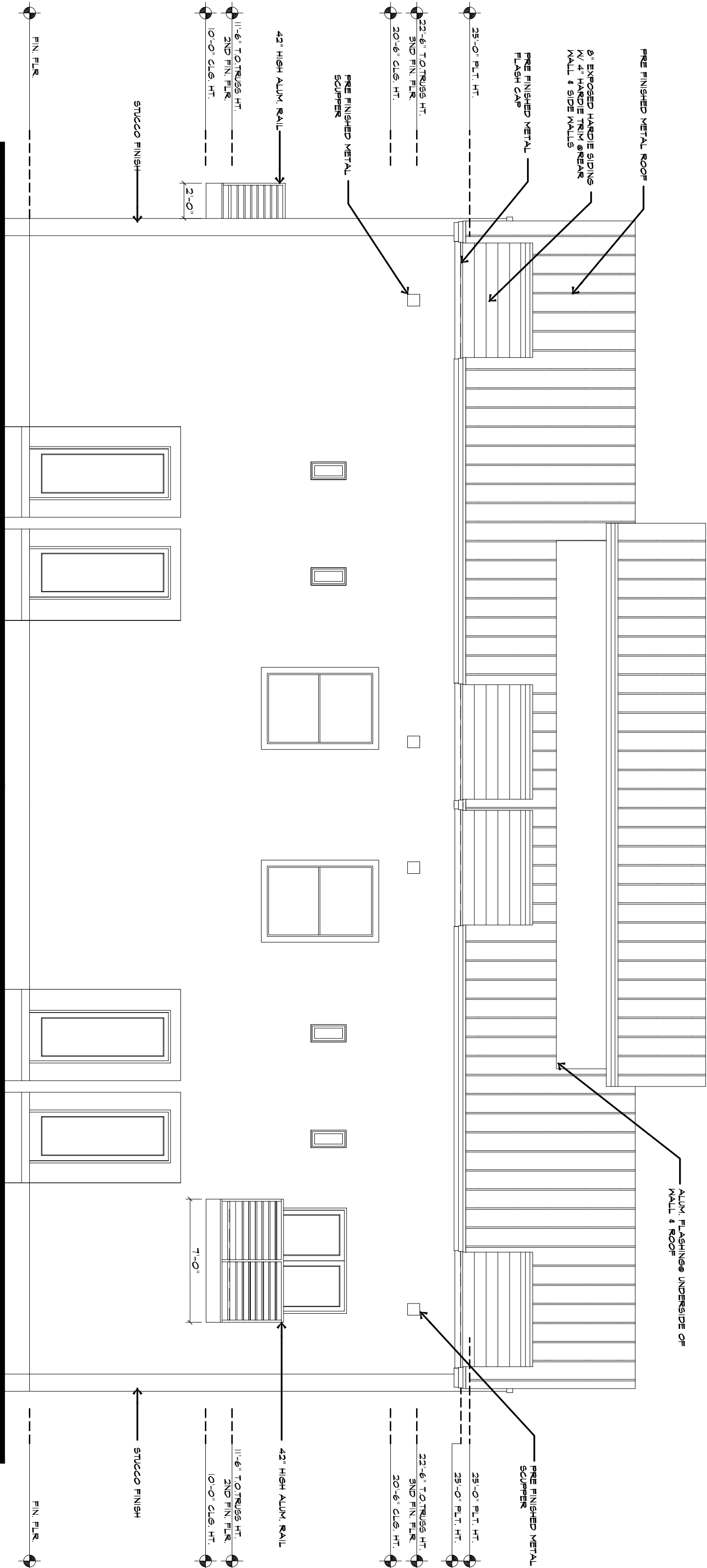
1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



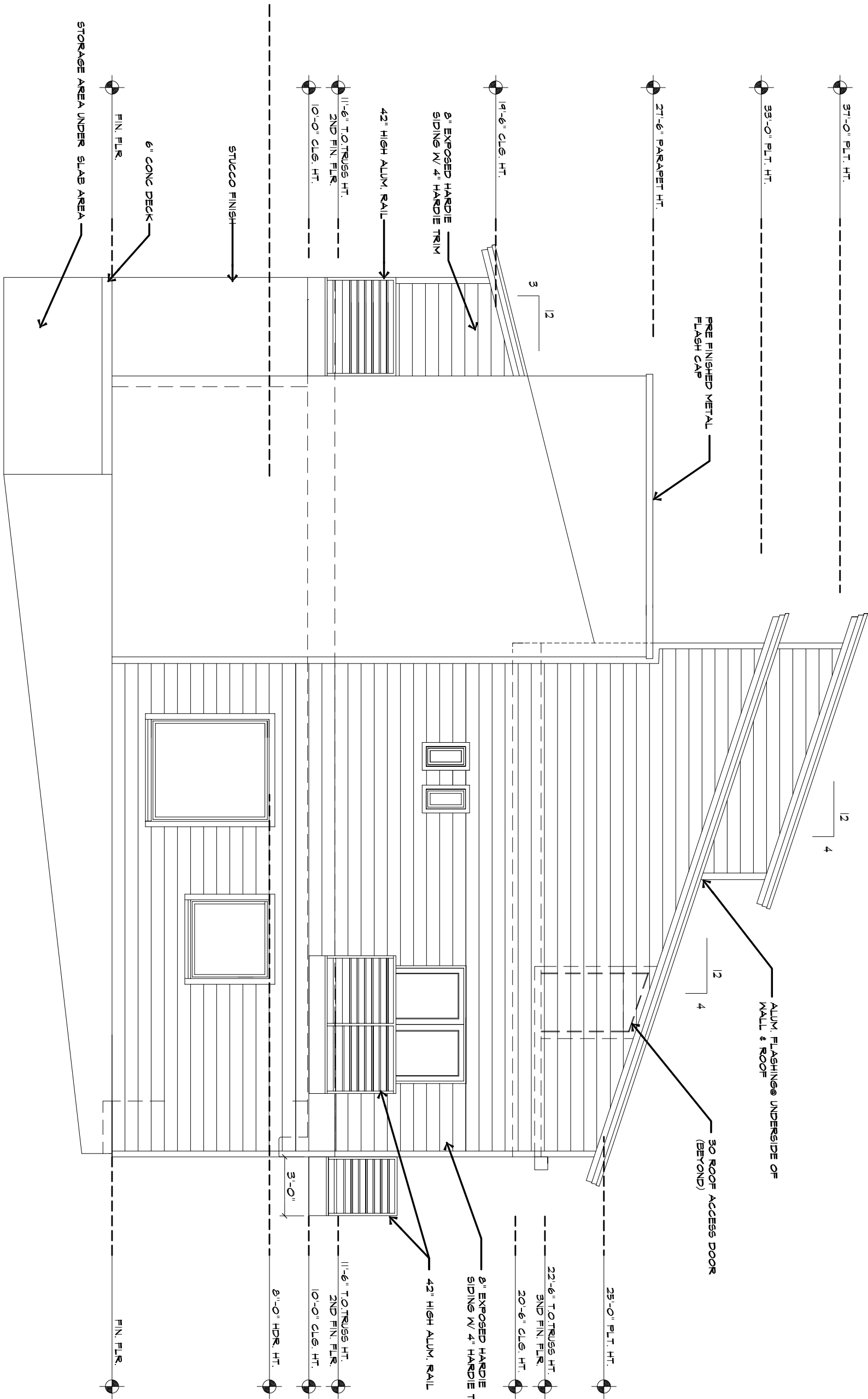
2 LEFT ELEVATION
SCALE: 3/16" = 1'-0"

- NOTES UNLESS NOTED OTHERWISE (UNO)
1. ALLOW FOR ALUM. FLASHING WINDOW/ REFR. WINDOW V/Fs.
 2. ALLOW FOR SLOPED WINDOW SILL AS REQUIRED
 3. ALLOW FOR EXPANSION JOINTS @ STUCCO WALL OPENINGS AND AS REQUIRED
 4. ALLOW FOR STUCCO ROOF SOFFITS
 5. ALLOW FOR SLOTT ST VINYL SOFFIT VENTS
 6. INSTALL HARDIE SIDING PER V/Fs SPECS ON 1X4 FURRING. USE NON-CORROISIVE FASTENERS

LISTI ARCHITECTS Sam Al Isti AIA, Architect P.O.Box 2220 South Padre Island, Texas 78597 956-345-9960 956-761-2352		 <i>Sam Al Isti</i>		SIGNED: 11/13/18 EXPIRES: 11/17/19	
CONSULTANT		DATE: 02/19/19			
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 DISTINCTIVE DRAFTING & DESIGN L.L.C.		2312 S. EXP. 83 SUITE B HARLINGEN, TX 78552 OFFICE: (956) 425-7040			
PROJECT		ISSUE DATE		REVISIONS	
LAS VELAS CONDOS		1		8/13/19	
6101 PADRE BLVD.					
South Padre Island, TX					
SHEET INFORMATION		DRAWN BY		CHECKED BY	
PROJECT NO.		PLOT DATE			
SCALE					
SEE NOTES					
SHEET TITLE		ELEVATIONS		SHEET	
				A-1.8	

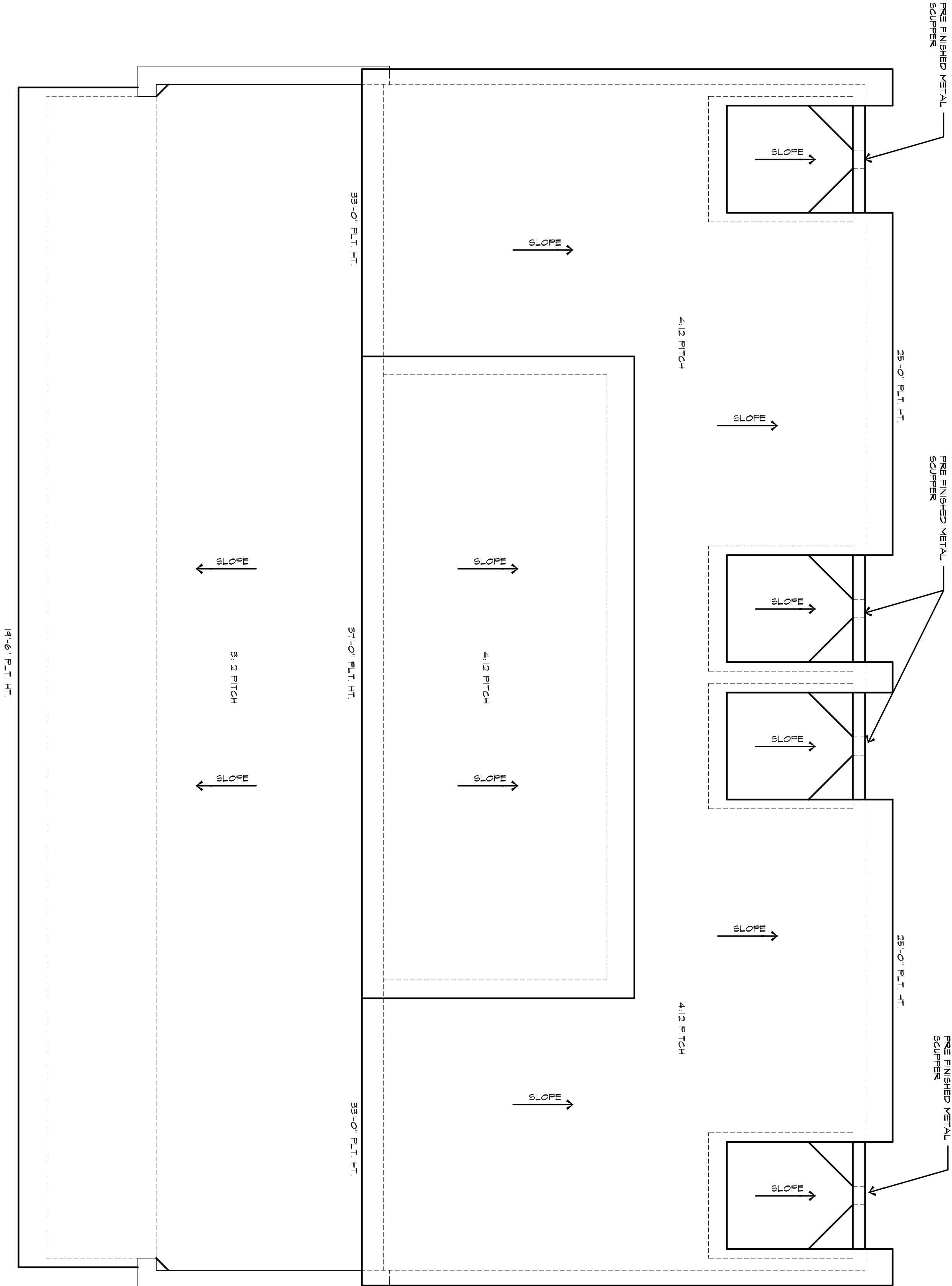


1 REAR ELEVATION
SCALE: 3/16" = 1'-0"



2 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

- NOTES
- UNLESS NOTED OTHERWISE (U.N.O.)
1. ALLON FOR ALUM. FLASHING WINDOW/ REFR. WINDOW WFS.
 2. ALLON FOR SLOPED WINDOW SILL AS REQUIRED
 3. ALLON FOR EXPANSION JOINTS @ STUCCO WALL OPENINGS AND AS REQUIRED
 4. ALLON FOR STUCCO ROOF SOFFITS
 5. ALLON FOR SOFFIT WALL SOFFITS
 6. ALLON FOR SOFFIT WALL SOFFITS ON 1X4 FLOORING. USE NON-CORROSIVE FASTENERS



1 ROOF PLAN
SCALE: 3/16" = 1'-0"

LISTI ARCHITECTS Sam A. Listi AIA, Architect P.O.Box 2220 South Padre Island, Texas 78597 956-345-9960 956-761-2352		 REGISTERED ARCHITECT S.A. LISTI 4908-4909 STATE OF TEXAS SIGNED: 11/13/18 EXPIRES: 11/17/19		CONSULTANT DATE: 02/19/19					
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PROJECT		ISSUE DATE		REVISIONS		SHEET INFORMATION		SHEET TITLE	
LAS VELAS CONDOS				1 8/13/19		DRAWN BY PROJECT NO.		ROOF PLAN	
6101 PADRE BLVD.						CHECKED BY PLOT DATE.			
South Padre Island, TX						SCALE SEE NOTES		SHEET	
								A-1.9	